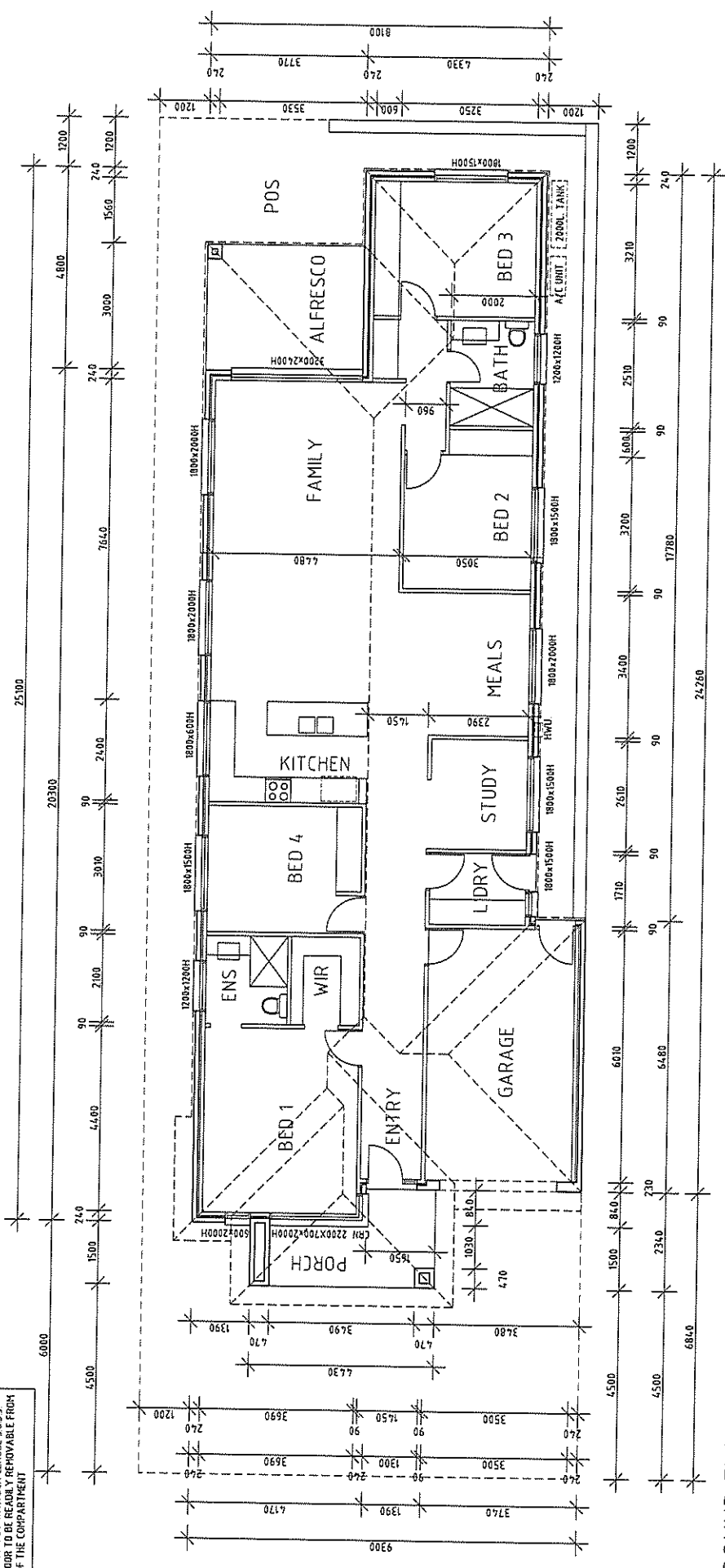


TERMITE PROTECTION
 PROVIDE PROTECTION FROM
 TERMITE INFESTATION IN
 ACCORDANCE WITH AS 3660 1

NOTE:
 ALL SEWER PIPES AND SERVICES CONDUITS
 MUST NOT BE VISIBLE FROM THE ROAD.

**DOOR TO WC TO COMPLY WITH BCA CLAUSE 3.8.3.3
 IN THAT THE DOOR TO BE READILY REMOVABLE FROM
 THE OUTSIDE OF THE COMPARTMENT**

MERRIFIELD LIVING
 DESIGN GUIDELINE APPROVAL
 Signed *TW*
 Date 24/8/17



GROUND FLOOR PLAN 1:100
 AREA = 210 = 22.6SQ

entire design & construction
 suite 7, 412 boorak road, boorak vic 31142
 p.o. box 4, bulken vic 3105
 telephone: 9028 8484
 mobile: 0411 11 89 49
 email: info@entiredesign.com.au

P	20.05.17	ISSUED FOR REVIEW
P1	05.06.17	ISSUED FOR REVIEW
P2	07.06.17	ISSUED FOR REVIEW
P3	16.06.17	ISSUED FOR REVIEW
P4	26.06.17	ISSUED FOR APPROVAL

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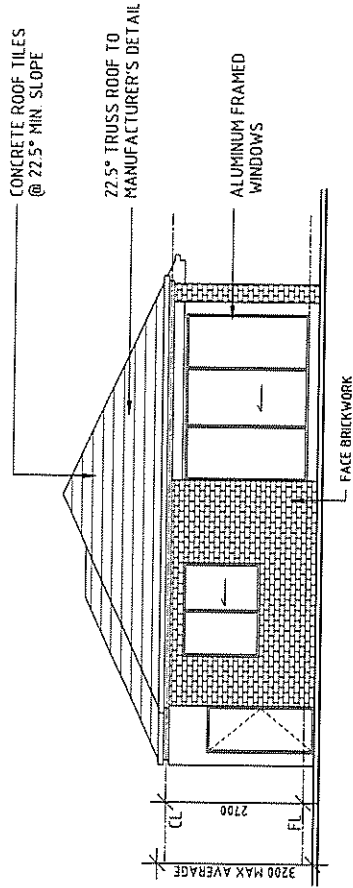
PROPOSED RESIDENCE
LOT 2166 MATHOURA ROAD
MERRIFIELD ESTATE

PRELIMINARY

DWG No: 1733 - 02
 REV: P4

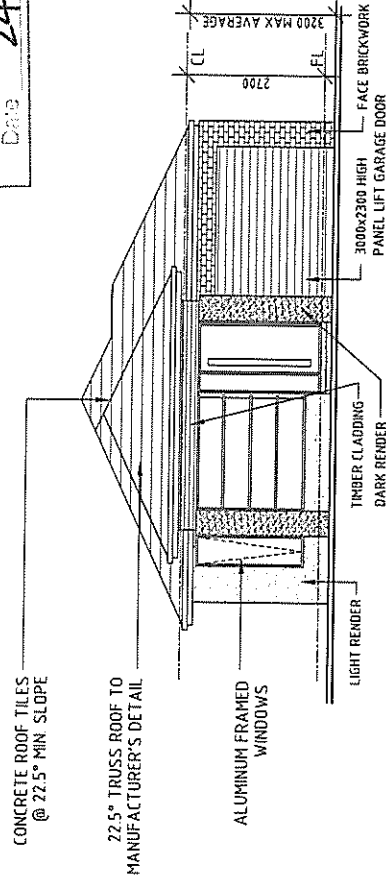
DRAWN: S. ROFOO
 SCALE: 1:100 @ A3
 DATE: MAY 2017





SOUTH ELEVATION (1:100)

MERRIFIELD LIVING
 DESIGN GUIDELINE APPROVAL
 Signed *TW*
 Date 24/8/17



NORTH ELEVATION (1:100)

entire design & construction
 suite 7, 412 boorak road, boorak vic 3142
 p.o. box 4, bulleen vic 3105
 telephone: 9028 8464
 mobile: 0411 11 89 49
 email: info@entiredesign.com.au

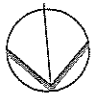
P	28.05.17	ISSUED FOR REVIEW
P1	05.06.17	ISSUED FOR REVIEW
P2	07.06.17	ISSUED FOR REVIEW
P3	18.06.17	ISSUED FOR REVIEW
P4	28.06.17	ISSUED FOR APPROVAL

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 MERRIFIELD ESTATE

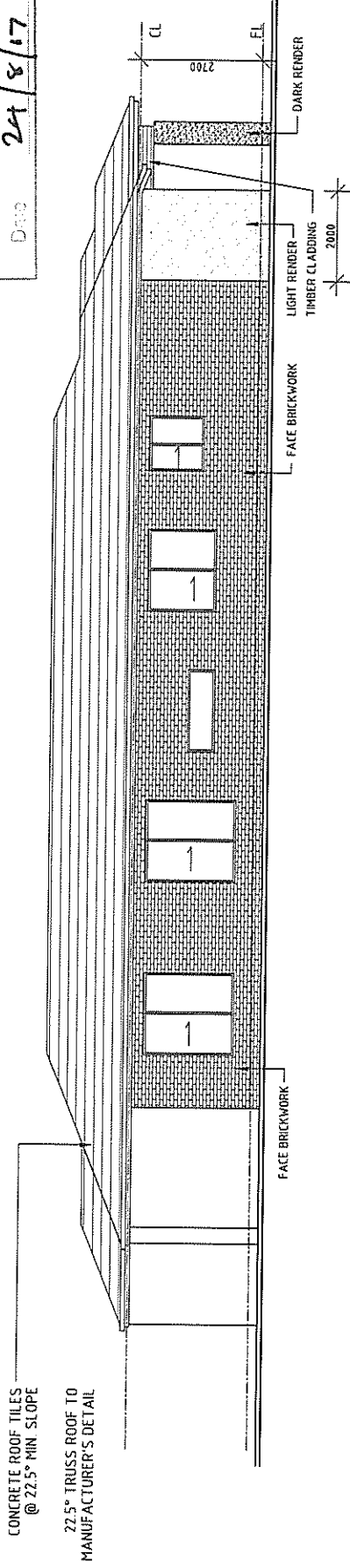
DWG No.	1733 - 03	REV.	P4
DRAWN:	S. ROFOO		
SCALE:	1:100 @ A3		
DATE:	MAY 2017		

PRELIMINARY

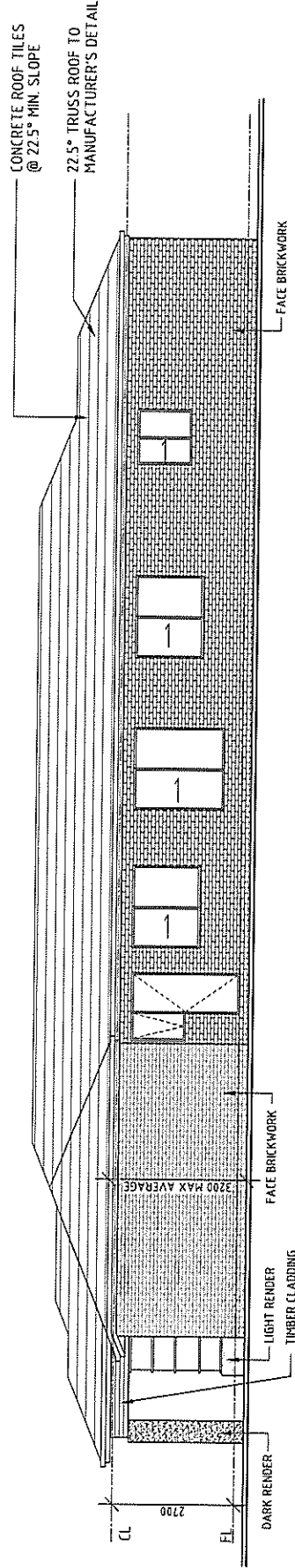


MERRIFIELD LIVING
DESIGN GUIDELINE APPROVAL

Signed *TW*
Date 24/8/17



EAST ELEVATION (1:100)



WEST ELEVATION (1:100)

PRELIMINARY

entire design & construction
suite 7, 412 boorak road, boorak vic 3142
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P4	26.06.17	ISSUED FOR APPROVAL

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PROPOSED RESIDENCE
LOT 2166 MATHOURA ROAD
MERRIFIELD ESTATE

DWG No. 1733 - 04

DRAWN: S. ROFOO
SCALE: 1:100 @ A3
DATE: MAY 2017

REV. P4



MERRIFIELD LIVING
 DESIGN GUIDELINE APPROVAL
 Signed *TW*
 Date 24/8/17

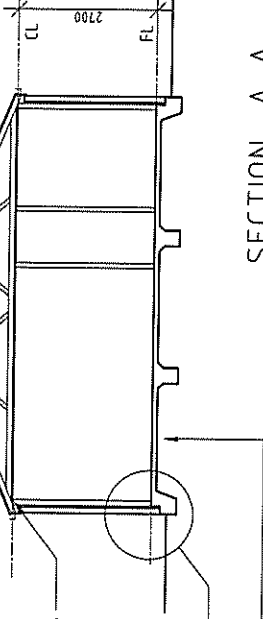
CONCRETE ROOF TILES
 @ 22.5° MIN. SLOPE ON ROOF BATTENS
 @ 330 CENTRES

22.5° TRUSS ROOF TO
 MANUFACTURER'S DETAIL

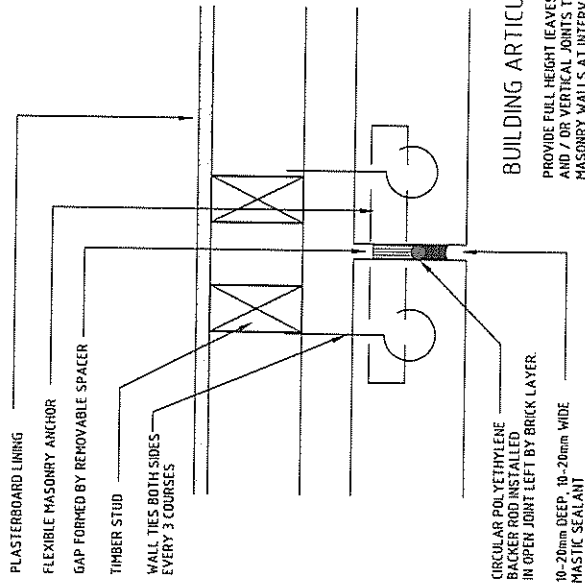
PROVIDE DOUBLE TOP PLATES
 TO ALL WALLS SUPPORTING TRUSSES
 TYPICAL THROUGHOUT

REFER DETAIL

CONCRETE SLAB
 TO ENGINEERS DESIGN



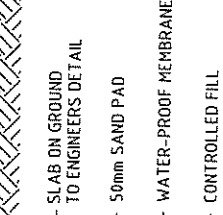
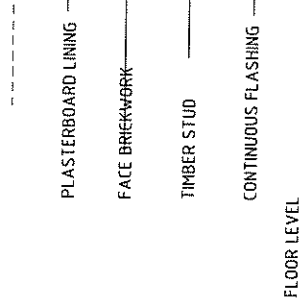
SECTION A-A (1:100)



BUILDING ARTICULATION

PROVIDE FULL HEIGHT LEAVES TO FOOTING OPENINGS
 AND / OR VERTICAL JOINTS TO ALL
 MASONRY WALLS AT INTERVALS OF NO GREATER
 THAN 6 METER CENTRES AS PER STRUCTURAL
 ENGINEERS RECOMMENDATIONS.

ARTICULATION JOINT DETAIL 1:5



EDGE BEAM DETAIL (TYPICAL) 1:5

entire design & construction

suite 7, 412 boorak road, boorak vic 31142
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 telephone: 9028 8484
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 email: info@entiredesign.com.au

P	28.05.17	ISSUED FOR REVIEW
P1	05.06.17	ISSUED FOR REVIEW
P2	07.06.17	ISSUED FOR REVIEW
P3	16.06.17	ISSUED FOR REVIEW
P4	26.06.17	ISSUED FOR APPROVAL

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PROPOSED RESIDENCE
 LOT 2166 MATHOURA ROAD
 MERRIFIELD ESTATE

DWG No. 1733 - 05

DRAWN: S. ROFOO

SCALE: 1:100 @ A3

DATE: MAY 2017

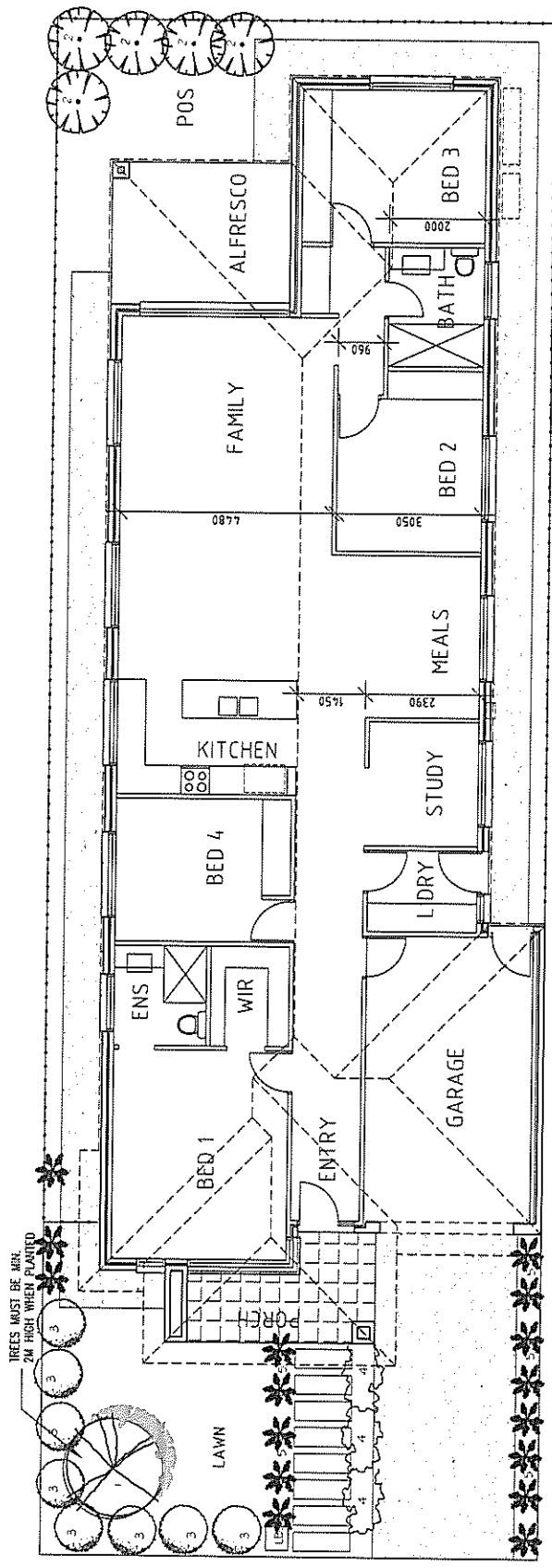
PRELIMINARY

REV. P4



MERRIFIELD LIVING
 DESIGN GUIDELINE APPROVAL
 S: 9/00
 Date: 24/8/17
 TW

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (mm)	MATURE WIDTH (mm)	POT SIZE (mm)	NO
TREES						
1	<i>Eucalyptus 'Evelyn Dawn'</i>	Daunt Gum (min. 2m high)	5000	3500	75-t	1
SHRUBS						
2	<i>Entolasia myrsinoides</i>	Long Leaf Wax Flower	2000	1500	150	5
3	<i>Utricularia dentata</i>	French Lavender	1000	1000	150	5
GROUNDCOVERS						
4	<i>Artemisia prostrata</i>	Burning Postman	100	1000	150	4
TUSsock PLANTS						
5	<i>Pteris caudata</i>	Long Purple Fern	500	500	150	15



- LEGEND:**
- DENOTES OPPORTUNITY FOR A CANOPY TREE
 - DENOTES LOW LEVEL PLANTING & MID LEVEL SCREEN PLANTING
 - HEDGES OR SCREEN PLANTING
 - SELECTED PAVERS OR EXTERNAL TILES
 - DENOTES PAVERS LAYED ON PERVIOUS SURFACE
 - EXPOSED AGGREGATE CONCRETE PAVING

NOTE:
 HARD PAVING IN FRONT GARDEN MUST BE LESS THAN 50% OF THE FRONT GARDEN AREA AS SHOWN

APPROX. AREA OF SOFT LANDSCAPING 95 SQ.M. OR 26% OF TOTAL SITE

LANDSCAPE PLAN 1:100

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P	ISSUED FOR REVIEW
P1	28.05.17
P2	06.06.17
P3	07.06.17
P4	16.06.17
	26.06.17

PRELIMINARY

DWG No. 1733 - 06 REV. P4

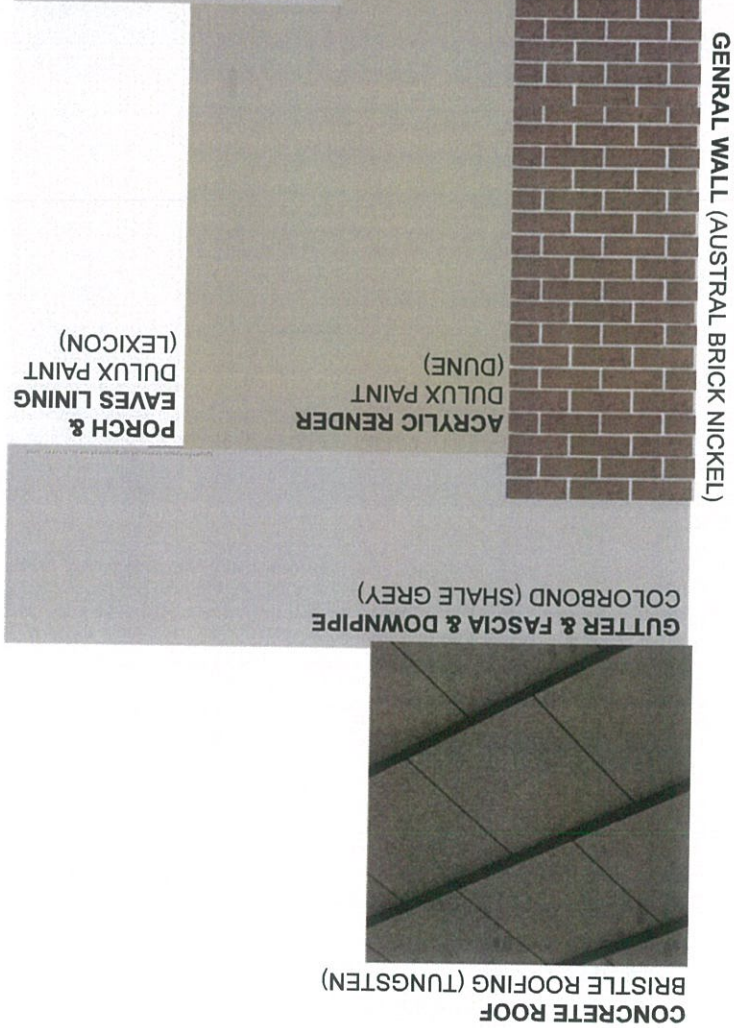
PROPOSED RESIDENCE
 LOT 2166 MATHOURA ROAD
 MERRIFIELD ESTATE

DRAWN: S. ROFOO
 SCALE: 1:100 @ A3
 DATE: MAY 2017

EXTERNAL COLOUR SCHEME



- 11. DRIVEWAY
- EXPOSED AGGREGATE CONCRETE
- 10. GARAGE DOOR
- TIMBER (JARRAH)
- 9. GARDEN SHED + METER BOX
+ LETTER BOX
- COLORBOND STEEL (SHALE GREY)
- 8. ALL EXTERNAL DOORS
- DULUX (LEXICON)
- 7. ENTRY DOOR
- DULUX PAINT (REDBOX)
- 6. ALUMINIUM WINDOWS
+ ALL EXTERNAL DOOR FRAMES
- DULUX POWDERCOATING (SHALE GREY)
- 5. GENERAL WALL
- AUSTRAL BRICK (NICKEL)
- 4. ACRYLIC RENDER
- DULUX PAINT (DUNE)
- 3. PORCH + EAVES LINING
- DULUX PAINT (LEXICON)
- 2. GUTTER + FASCIA + DOWNPIPE
- COLORBOND STEEL (SHALE GREY)
- 1. CONCRETE ROOF
- BRISTLE ROOFING CONCRETE
TILES (TUNGSTEN)



MERRIFIELD LIVING
DESIGN GUIDELINE APPROVAL
Signed *[Signature]* 24/8/17
Date