

# GENERAL NOTES:

G001 DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSION ONLY

G002 THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL DIMENSIONS CONFORM TO THE BUILDING REGULATIONS, LOCAL GOVERNMENT AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THE OFFICE FOR CLARIFICATION.

G003 ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:  
 A.S. 1288 - 1994 GLASS IN BUILDING - SELECTION AND INSTALLATION  
 A.S. 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING  
 A.S. 1684 - 1992 NATIONAL TIMBER FRAMING CODE  
 A.S. 1850 - 1990 INSTALLATION OF PARTICLEBOARD  
 A.S. 2042 - FLOORING - TILES  
 A.S. 2069 - FIXING OF ROOFING TILES  
 A.S. 2070 - 1994 RESIDENTIAL SLABS AND FOOTING  
 A.S. 2075 - 1994 DAMP-PROOF COURSES AND FLASHINGS  
 A.S. 3000 - 1994 CONCRETE STRUCTURES  
 A.S. 3640.1 - 1995 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES.  
 A.S. 3700 - 1998 MASONRY IN BUILDINGS.  
 A.S. 3740 - 1994 WATER PROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS  
 A.S. 3786 - 1993 SHORE ALARMS  
 A.S. 4055 - 1992 WIND LOADING FOR HOUSING  
 A.S. 4100 - 1998 STEEL STRUCTURES

G004 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

G005 SOIL CLASSIFICATION - CLASS --  
 THESE PLANS SHALL BE IN CONJUNCTION WITH THE SOIL REPORT BY -- REPORT No.  
 FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.

G006 WHERE THE BUILDING OTHER THAN A CLASS 0B/1 IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD.

G007 SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:  
 1) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR  
 2) BATH ROOMS - WITHIN 1500mm VERTICAL FROM BATH BASE - WITHIN 500 HORIZONTAL FROM BATH/HOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURE.  
 3) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM THROUGH 4) DOORWAYS - WITHIN 300mm HORIZONTAL FROM ALL DOORS.  
 SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.  
 WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER WINDOWS TO BE FLASHED ALL AROUND.

G008 STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

G009 SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.

G010 FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

G012 FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CHIMNEYS, AND STEEL LININGS, ETC. THAT ARE EXPOSED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1650 OR A.S. 3700 - 1998 TABLE 2.2 COATED GALV., STAINLESS STEEL OR CADMIUM COATED

G013 ALL WET AREAS TO COMPLY WITH B.C.A. PART 3.8.1 OR A.S. 3740 - 1994. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVELS TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS, AND TROUGHS AND THE LIKE.

G014 PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CENTRES IN PLAN, POSITION AND WITHIN 300mm OF ARTICULATION JOINTS.

G015 REFER TO ENERGY REPORT

G016 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURE DURING ALL WORKS.

G017 THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

G018 DEVOTES LOCATION OF SHOCK ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 - 1993 AND UNLESS INSTALLED IN A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4, 5, 6, 7 OF A BUILDING, THE SHOCK ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

G019 THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWNERS RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

G020 THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.  
 NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

G021 DOOR TO VC TO COMPLY WITH B.C.A. CLAUSE 3.8.3.3 IN THAT THE DOOR TO BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT

G022 PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING

G023 CONCRETE STUMPS  
 - 100mm SO UP TO 1400mm LENGTH Ho RD W/REO  
 - 100mm SO 140mm TO 1800mm LONG (Ho RD W/REO)  
 - 125mm SO 180mm TO 3000mm LONG (Ho RD W/REO)  
 NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED

G024 STEP SIZES TO THE SPIRAL STAIRS TO BE: RISERS (R) 190mm MAX. AND 150mm MIN. GOING (G) 355mm MAX. AND 240mm MIN. 2R-1G-700mm MAX. AND 550mm MIN. 125mm GAP TO OPEN TREADS.

G025 ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF HOUSING.  
 PROVIDE BALLUSTRADE WHERE CHANGE IN LEVEL EXCEEDS 100mm ABOVE THE SURFACE BENEATH LANDINGS, ROOF OR TREADS TO BE:  
 100mm ABOVE BALCONIES, LANDINGS OR THE LIKE AND 60mm ABOVE STAIR NOSING OR TRAMP, AND VERTICAL WITH A 125mm MAX GAP BETWEEN HANDRAILS TO BE 850mm MIN ABOVE STAIR NOSING AND LANDINGS.

G026 INSTALLATION OF SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

G027 THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

G028 NO MORE THAN 80% OF THE AREA OF THE ALLOTMENT CAN BE COVERED BY IMPERMEABLE SURFACES

### AREA ANALYSIS:

GROUND FLOOR	170.10 M <sup>2</sup>	18.30 SQ
FRONT PORCH	8.00 M <sup>2</sup>	0.90 SQ
GARAGE	23.60 M <sup>2</sup>	2.50 SQ
ALFRESCO	19.00 M <sup>2</sup>	2.00 SQ
TOTAL	220.90 M <sup>2</sup>	23.70 SQ

SITE AREA 367 M<sup>2</sup>  
 SITE COVERAGE 61%  
 PERMEABLE AREA 85M<sup>2</sup>  
 SITE PERMEABILITY 23%

ENERGY RATING NOTE:  
 EITHER A RAIN WATER TANK CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR A SOLAR WATER HEATER SYSTEM TO BE INSTALLED TO COMPLY WITH VIC 12.2 REGULATION

DESIGN GUIDELINE APPROVAL  
 Signed *TW*  
 Date 24/8/17

PAVING  
 LANDSCAPED AREA

18M HIGH CAPPED TIMBER WITH EXPOSED POSTS AS PER THE DESIGN GUIDELINE

DRIVEWAY & CROSSOVER MUST BE CONSTRUCTED PRIOR TO OCCUPATION

ALLOW MIN OF 25% OF BOUNDARY WITH NO FENCE AS PER THE DESIGN GUIDELINE

MIN 25% NO FENCE

95% PERMEABLE FENCE (1.8M HIGH)

SOLID FENCE (1.8M HIGH)

CANNING DRIVE

PRELIMINARY

REV. P5\*

DWG No. 1744 - 01

DRAWN: S. ROFOO

SCALE: 1:100 @ A3

DATE: MAY 2017

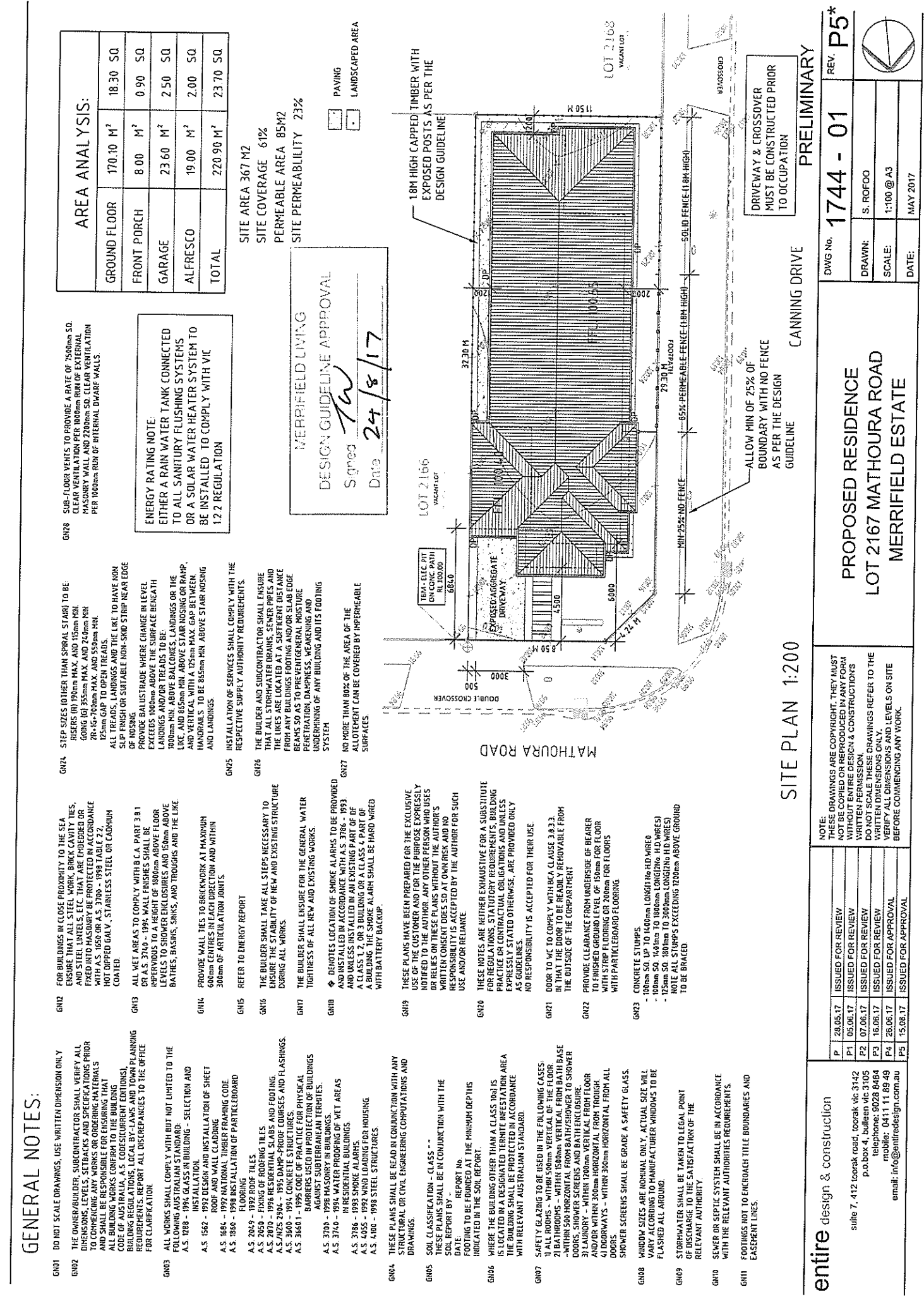
PROPOSED RESIDENCE  
 LOT 2167 MATHOURA ROAD  
 MERRIFIELD ESTATE

SITE PLAN 1:200

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ISSUED FOR REVIEW  
 28.05.17  
 P1  
 05.06.17  
 P2  
 07.06.17  
 P3  
 16.06.17  
 P4  
 26.06.17  
 P5  
 15.08.17

entire design & construction  
 suite 7, 412 toorak road, toorak vic 3142  
 p.o. box 4, bulleen vic 3105  
 telephone: 9028 8484  
 mobile: 0411 11 99 49  
 email: info@entiredesign.com.au

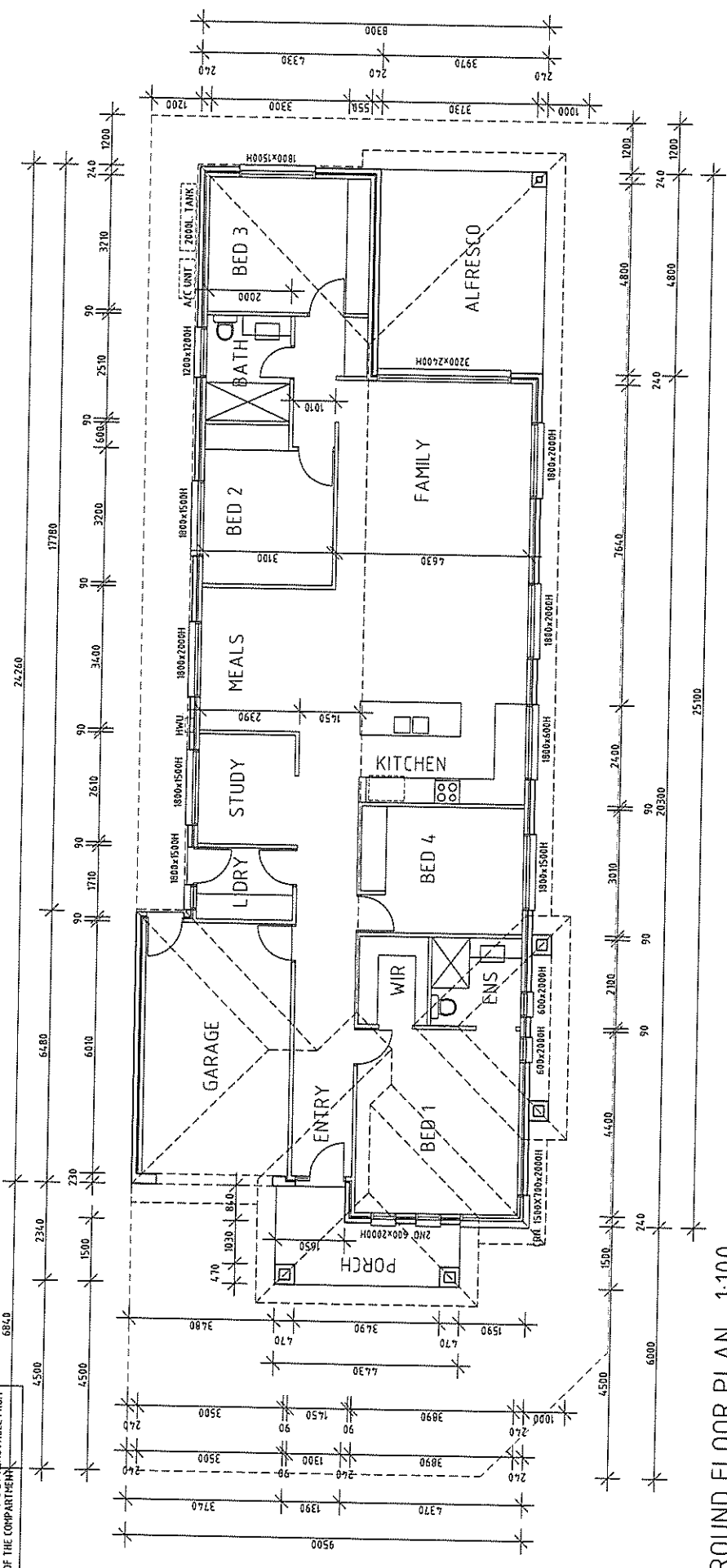


**TERMITE PROTECTION**  
 PROVIDE PROTECTION FROM  
 TERMITE INFESTATION IN  
 ACCORDANCE WITH AS 3660.1

**NOTE:**  
 ALL SEWER PIPES AND SERVICES CONDUITS  
 MUST NOT BE VISIBLE FROM THE ROAD.

**DOOR TO WC TO COMPLY WITH BCA CLAUSE 3.8.3  
 IN THAT THE DOOR TO BE READILY REMOVABLE FROM  
 THE OUTSIDE OF THE COMPARTMENT.**

MERRIFIELD LIVING  
 DESIGN GUIDELINE APPROVAL  
 Signed *TW*  
 Date 24/8/17



GROUND FLOOR PLAN 1:100

entire design & construction

suite 7, 412 toorak road, toorak, vic 3142  
 p.o. box 4, bulleen, vic 3105  
 telephone: 9028 8464  
 mobile: 04111 11 89 49  
 email: info@entiredesign.com.au

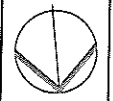
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P1	05.06.17	ISSUED FOR REVIEW
P2	07.06.17	ISSUED FOR REVIEW
P3	16.06.17	ISSUED FOR REVIEW
P4	26.06.17	ISSUED FOR APPROVAL
P5	15.08.17	ISSUED FOR APPROVAL

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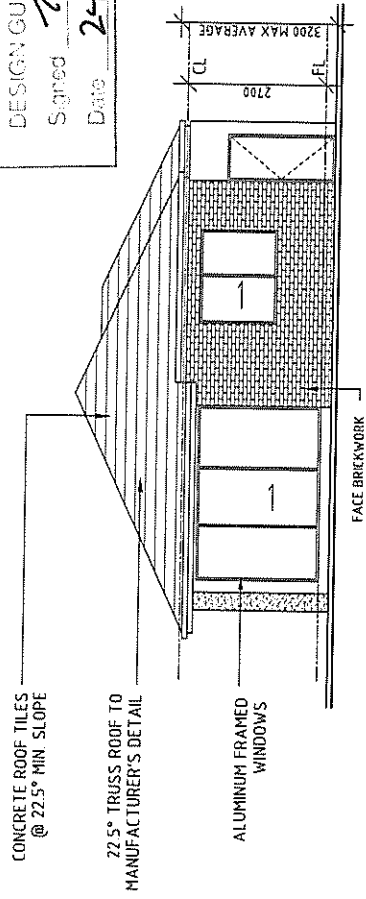
**PROPOSED RESIDENCE**  
**LOT 2167 MATHOURA ROAD**  
**MERRIFIELD ESTATE**

PRELIMINARY

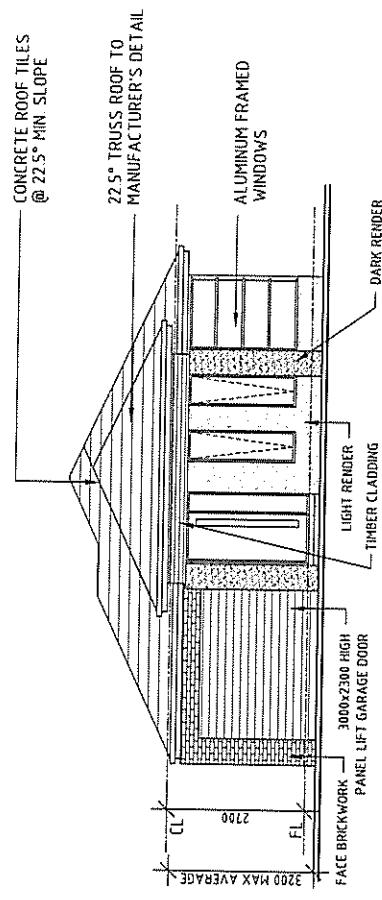
DWG No.	1744 - 02	REV	P5
DRAWN:	S. ROFOO		
SCALE:	1:100 @ A3		
DATE:	MAY 2017		



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 Signed *[Signature]*  
 Date 24/8/17



SOUTH ELEVATION (1:100)



NORTH ELEVATION (1:100)

**entire design & construction**  
 suite 7, 412 boorak road, boorak vic 3142  
 p.o. box 4, bulleen vic 3105  
 telephone: 9028 8484  
 mobile: 0411 11 89 49  
 email: info@entiredesign.com.au

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P	20.05.17	ISSUED FOR REVIEW
P1	05.06.17	ISSUED FOR REVIEW
P2	07.06.17	ISSUED FOR REVIEW
P3	16.06.17	ISSUED FOR REVIEW
P4	26.06.17	ISSUED FOR APPROVAL
P5	15.08.17	ISSUED FOR APPROVAL

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DWG No. **1744 - 03** REV. **P5**

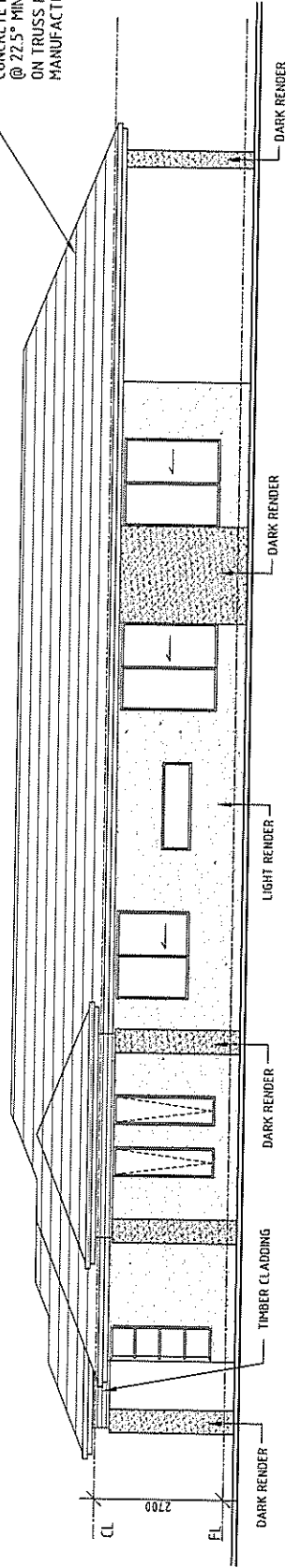
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 DATE: MAY 2017

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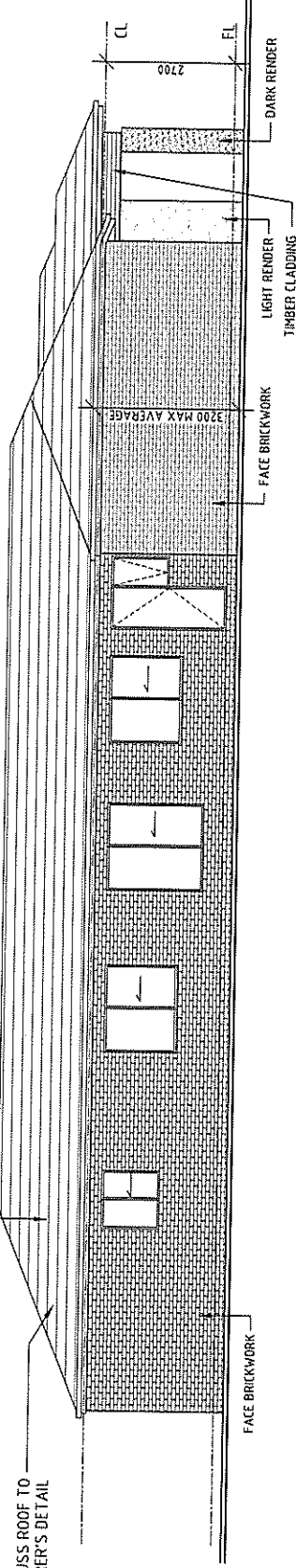
Signed *TLW*  
Date 24/8/17

CONCRETE ROOF TILES  
@ 22.5° MIN. SLOPE  
ON TRUSS ROOF TO  
MANUFACTURER'S DETAIL



WEST ELEVATION (1:100)

CONCRETE ROOF TILES  
@ 22.5° MIN. SLOPE  
ON TRUSS ROOF TO  
MANUFACTURER'S DETAIL



EAST ELEVATION (1:100)

entire design & construction

suite 7, 412 boorak road, boorak, vic 3142  
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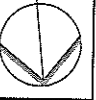
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LOT 2167 MATHOURA ROAD  
MERRIFIELD ESTATE

DWG No. 1744 - 04

DRAWN: S. ROFOO  
SCALE: 1:100 @ A3  
DATE: MAY 2017

PRELIMINARY

REV. P5



MERRIFIELD LIVING  
 DESIGN GUIDELINE APPROVAL  
 Signed *TW*  
 Date 24/8/17

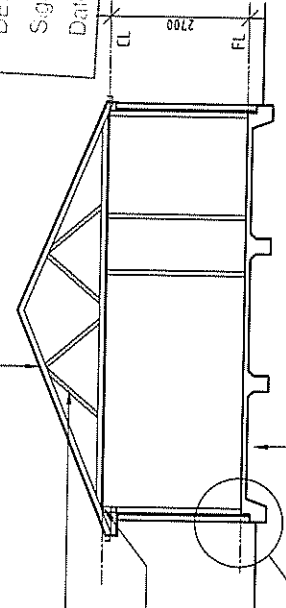
CONCRETE ROOF TILES  
 @ 22.5° MIN. SLOPE ON ROOF BATTENS  
 @ 350 CENTRES

22.5° TRUSS ROOF TO  
 MANUFACTURER'S DETAIL

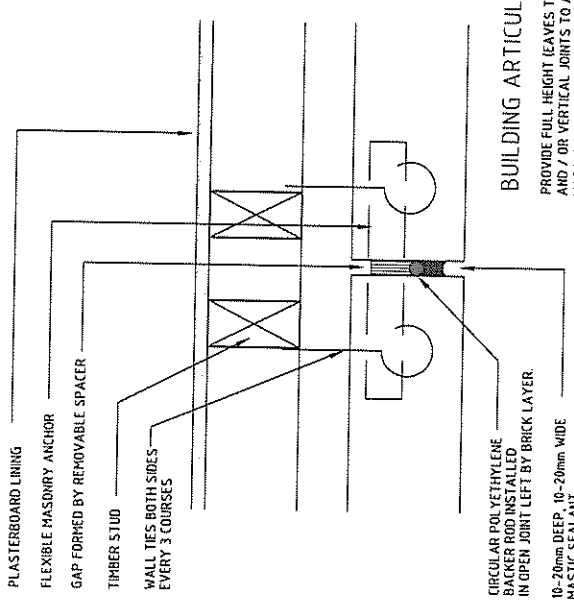
PROVIDE DOUBLE TOP PLATES  
 TO ALL WALLS SUPPORTING TRUSSES  
 TYPICAL THROUGHOUT

REFER DETAIL

CONCRETE SLAB  
 TO ENGINEERS DESIGN



SECTION A-A (1:100)



PLASTERBOARD LINING

FLEXIBLE MASONRY ANCHOR

GAP FORMED BY REMOVABLE SPACER

TIMBER STUD

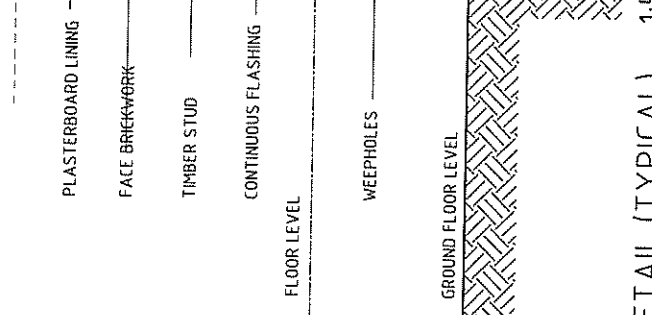
WALL TIES BOTH SIDES  
 EVERY 3 COURSES

CIRCULAR POLYETHYLENE  
 BACKER ROD INSTALLED  
 IN OPEN JOINT LEFT BY BRICK LAYER

18-20mm DEEP, 10-20mm WIDE  
 MASTIC SEALANT

**BUILDING ARTICULATION:**  
 PROVIDE FULL HEIGHT (LEAVES TO FOOTING) OPENINGS  
 AND / OR VERTICAL JOINTS TO ALL  
 MASONRY WALLS AT INTERVALS OF NO GREATER  
 THAN 6 METER CENTRES AS PER STRUCTURAL  
 ENGINEERS RECOMMENDATIONS.

ARTICULATION JOINT DETAIL 1:5



PLASTERBOARD LINING

FACE BRICKWORK

TIMBER STUD

CONTINUOUS FLASHING

FLOOR LEVEL

WEEPHOLES

GROUND FLOOR LEVEL

SLAB ON GROUND  
 TO ENGINEERS DETAIL

50mm SAND PAD

WATER-PROOF MEMBRANE

CONTROLLED FILL

EDGE BEAM DETAIL (TYPICAL) 1:5

**entire** design & construction

suite 7, 412 boorak road, boorak vic 3142  
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**PROPOSED RESIDENCE**  
 LOT 2167 MATHOURA ROAD  
 MERRIFIELD ESTATE

DWG No.	1744 - 05	REV.	P5
DRAWN:	S. ROFOO		
SCALE:	1:100 @ A3		
DATE:	MAY 2017		








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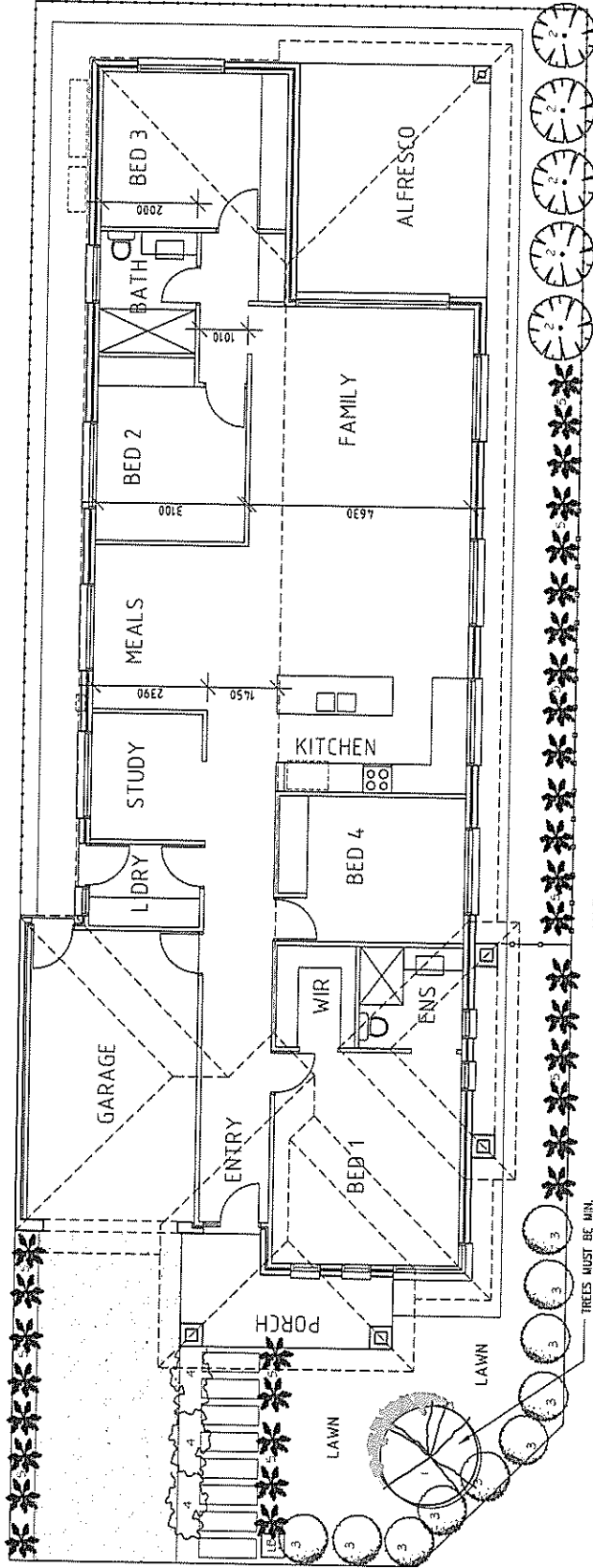


MERRIFIELD LIVING  
 DESIGN GUIDELINE APPROVAL  
 Signed *TW*  
 Date 24/8/17

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (mm)	MATURE WIDTH (mm)	POT SIZE (mm)	NO
<b>TREES</b>						
1	<i>Eucalyptus Eukly Dwart</i>	Dwart Gum (tree, 2m high)	3000	3500	750	1
<b>SHRUBS</b>						
2	<i>Erntemon myoposoides</i>	Long leaf Wax Flower	2000	1500	150	5
3	<i>Laurencia derata</i>	French Lavender	1000	1000	150	10
<b>GROUNDCOVERS</b>						
4	<i>Sarcocolla prestata</i>	Running Postman	100	1000	150	4
<b>TUSsock PLANTS</b>						
5	<i>Paterosma occidentale</i>	Long Purple Flag	500	500	150	33

**LEGEND:**

-  DENOTES OPPORTUNITY FOR A CANOPY TREE
-  DENOTES LOW LEVEL PLANTING & MID LEVEL SCREEN PLANTING
-  HEDGES OR SCREEN PLANTING
-  SELECTED PAVERS OR EXTERNAL TILES
-  DENOTES PAVERS LAYED ON PERVIOUS SURFACE
-  EXPOSED AGGREGATE CONCRETE PAVING
-  APPROX. AREA OF SOFT LANDSCAPING 95 SQ.M. OR 26% OF TOTAL SITE



NOTE:  
 HARD PAVING IN FRONT GARDEN MUST BE LESS THAN 50% OF THE FRONT GARDEN AREA AS SHOWN

LANDSCAPE PLAN 1:100

entire design & construction

suite 7, 412 toorak road, toorak, vic 3142  
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P3	28.06.17	15.08.17
P4		
P5		

PRELIMINARY

DWG No. 1744 - 06

DRAWN: S. ROFOO

SCALE: 1:100 @ A3

DATE: MAY 2017

PROPOSED RESIDENCE  
 LOT 2167 MATHOURA ROAD  
 MERRIFIELD ESTATE

REV. P5



# EXTERNAL COLOUR SCHEME



GARAGE DOOR & TIMBER CLADDING  
TIMBER (CEDAR WOOD)

ENTRY DOOR  
TIMBER (CEDAR WOOD)

PORCH TILES FINISHES  
(PERINI TILES: SEASHELL)

CONCRETE ROOF  
BRISTLE ROOFING (TITANIUM)

GUTTER & FASCIA & DOWNPIPE  
COLORBOND (MONUMENT)

GENERAL WALL (AUSTRAL BRICK BLACKSTONE)

ACRYLIC RENDER 2  
DULUX PAINT  
(TRANQUIL RETREAT)

ACRYLIC RENDER 1  
DULUX PAINT  
(TRANQUIL RETREAT  
HALF STRENGTH)

PORCH &  
EAVES LINING  
DULUX PAINT  
(LEXICON)

WINDOWS  
DULUX POWDERCOATING (MONUMENT)

DRIVEWAY  
EXPOSED AGGREGATE (BORAL COASTAL)

1. CONCRETE ROOF  
- BRISTLE ROOFING CONCRETE  
TILES (TITANIUM)
2. GUTTER + FASCIA + DOWNPIPE  
- COLORBOND STEEL (MONUMENT)
3. PORCH + EAVES LINING  
- DULUX PAINT (LEXICON)
4. ACRYLIC RENDER  
- DULUX PAINT (TRANQUIL RETREAT PG1F1)
5. GENERAL WALL  
- AUSTRAL BRICK (BLACKSTONE)
6. ALUMINIUM WINDOWS  
+ ALL EXTERNAL DOOR FRAMES  
- DULUX POWDERCOATING (MONUMENT)
7. ENTRY DOOR  
- TIMBER (CEDAR WOOD)
8. ALL EXTERNAL DOORS  
- DULUX (LEXICON)
9. GARDEN SHED + METER BOX  
+ LETTER BOX + WATER TANK  
- COLORBOND STEEL (MONUMENT)
10. GARAGE DOOR & TIMBER CLADDING  
- CEDAR WOOD
11. DRIVEWAY  
- EXPOSED AGGREGATE CONCRETE  
(BORAL COASTAL)

MERRIFIELD LIVING  
DESIGN GUIDELINE APPROVAL  
Signed *[Signature]*  
Date 24/2/17